

Building Height Workshop

**Captiva Community Panel
January 7, 2010
South Seas Plantation**

**Presented by:
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#LC26000330

Lee Plan Policy 13.1.2

- “No building or structure may be erected or altered so that the ***peak of the roof*** exceeds 35 feet above the average grade of the lot in question or 42 feet above mean sea level, ***whichever is lower.***”
- Policy 13.1.14 provides exception for monopole communication tower at South Seas Plantation.
- Added to Lee Plan by Ordinance No. 03-01.

Lee Plan Amendment Process

- Can be amended twice per year per Florida's Growth Management Act (Ch. 163, FS)
- Transmitted by Board of County Commissioners to Florida Department of Community Affairs (DCA) for interagency review
- Process takes 6-8 months without complications
- Text amendments ineligible for "small scale" exemption

Lee County Land Development Code (LDC)

- *Section 34-2175 restates the building height restrictions of the Lee Plan:*

“No building or structure may be erected or altered so that the peak of the roof exceeds 35 feet above the average grade of the lot in question or 42 feet above mean sea level, whichever is lower.”

LDC Section 34-2175 - Other provisions

- “The provisions of section 34-2174(a) do not apply to Captiva Island.”
 - ☞ See next slide for explanation
- **“No variance or deviation from this height restriction may be granted;** provided however, one communication tower, not to exceed 170 feet in height, may be constructed in accord with Lee Plan Policy 13.1.14.”

The Section 34-2174(a) exemption which does not apply on Captiva

“(a) Subject to conditions set forth in section 34-2175, any building or structure may be permitted to exceed the height limitations specified by the zoning district regulations in which the property is located provided every required street, side, waterbody, and rear setback is ***increased by one-half foot for every one foot by which the building or structure exceeds the specified height limitation.***”

Elsewhere in Lee County....

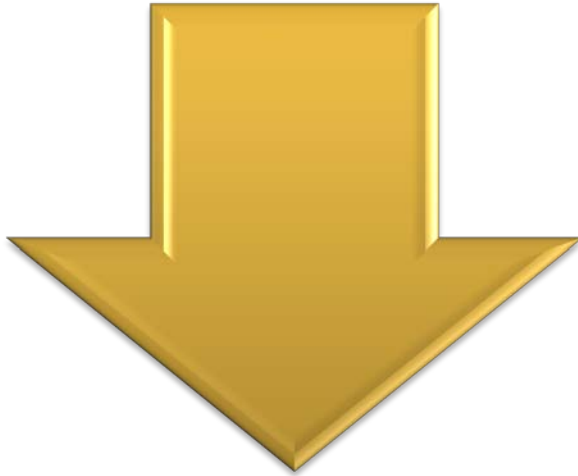
Sec. 34-2171 and sloped roofs

Sec. 34-2171. Measurement.

“(a) Except as provided in this subdivision, the height of a building or structure is measured as the vertical distance from grade* to the highest point of the roof surface of a flat or Bermuda roof, to the deck line of a mansard roof, and ***to the mean height level between eaves and ridge of gable, hip and gambrel roofs***, and to the highest point of any other structure (excluding fences and walls).”

☞ * See next slide for definition of ‘grade’

Where does measurement begin? RSC-1 vs. RSC-2



RSC-1 Lee County standard

(Sec. 34-2171)“For purposes of this subdivision, grade is the average elevation of the street or streets abutting the property measured along the centerline of the streets, at the points of intersection of the streets with the side lot lines (as extended) and the midpoint of the lot frontage.”



RSC-2 Captiva standard (Sec. 34-2175)

“... the average grade of the lot in question.”



Elsewhere in Lee County....

Sec. 34-2173 exempts

“(a) The following structural appurtenances may exceed the height limitations stipulated in the applicable districts for authorized uses, without increasing setbacks as required in section 34-2174:

(1) Purely ornamental structural appurtenances such as church spires, belfries, cupolas, domes, ornamental towers, flagpoles or monuments.”

Does Sec. 34-2173 apply to Captiva?

Yes, according to the Lee County Zoning Administrator "...belfries, cupolas, domes, ornamental towers, flagpoles or monuments" ***may exceed the height limitations stipulated in the applicable districts for authorized uses...***

Summary:

Captiva height regulations

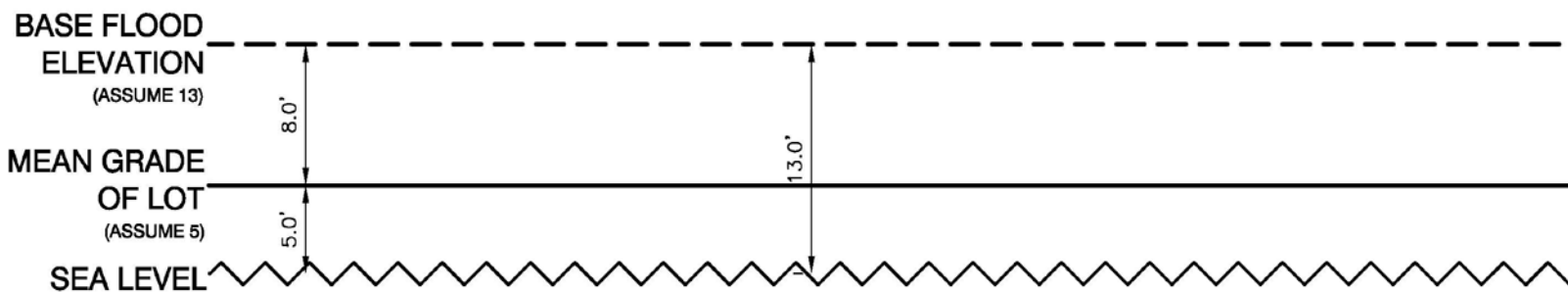
- “Peak of roof”
- 35 feet above *average grade* or 42 feet above sea level
- “whichever is lower”
- No variances or deviations
- Cupolas, etc. do not count toward the maximum height and do not require variances or deviations
- No incentive for additional setback
- No incentive for sloped roof

Three Base Elevations

- Sea level
- Mean grade of lot
- Base flood elevation

THREE CRITICAL ELEVATIONS

FIGURE 1



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REVISED

<ul style="list-style-type: none"> • Captiva • Captiva • Captiva 	
<p>MORRIS-DEFEW ENGINEERS ARCHITECTS PLANNERS 11001 W. BOULEVARD, SUITE 100 FORT LAUDERDALE, FL 33309</p>	

CAPTIVA CODE REVISIONS

CAPTIVA PLANNING PANEL
CAPTIVA BEACH, FLORIDA

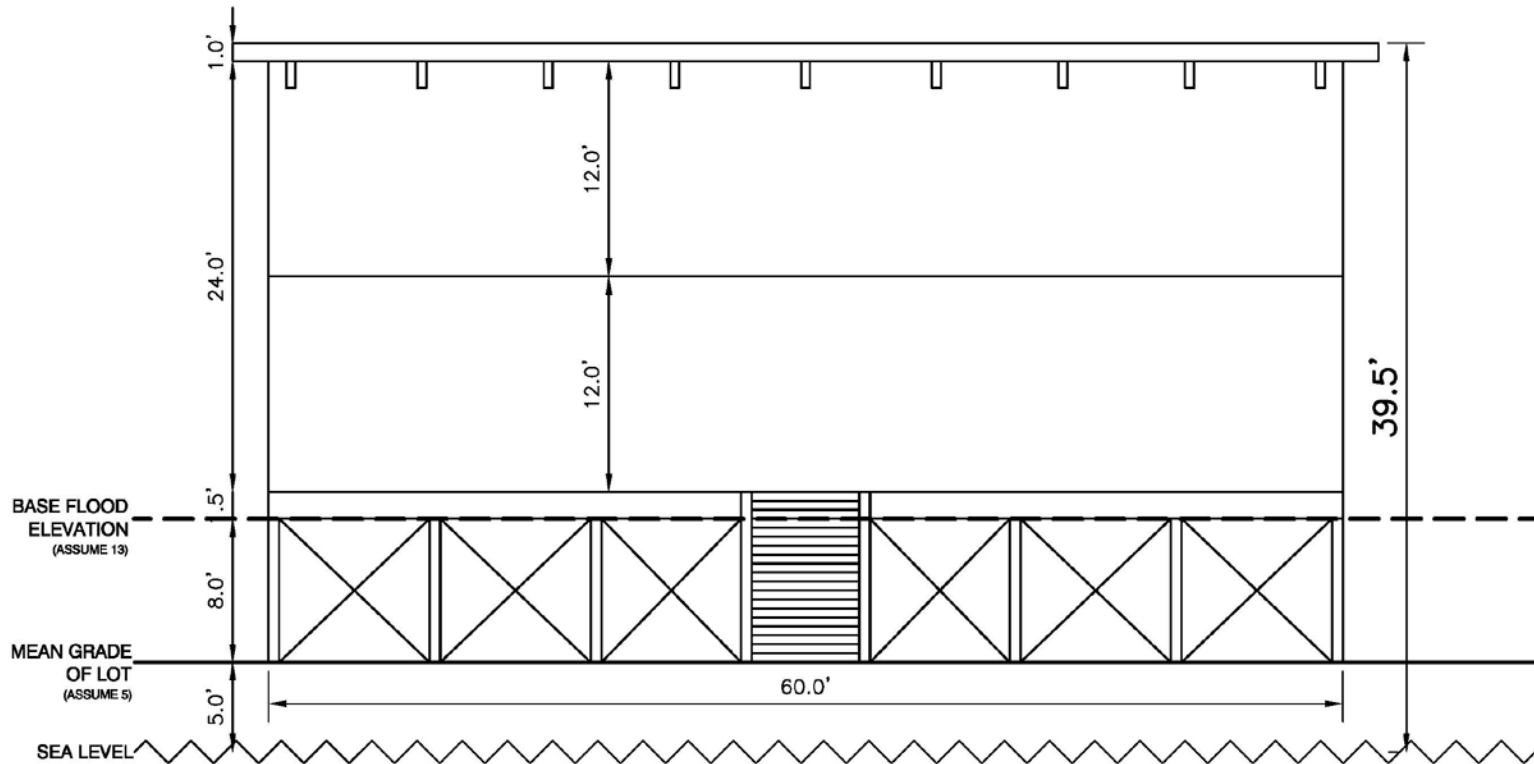
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DATE:	11-09-08
SHEET:	

Example #1: A Two-Story Dwelling in RSC-2

- RSC-2 available only on lots of ≥ 1 acre
- Assume the property owner has a one acre lot zoned RSC-2 illustrated as VE-13 on the FIRM (FEMA's 'Flood Insurance Rate Map')
- Elevation of property is 3.5 feet above sea level; property owner adds fill to bring it up to 5.0 feet above sea level
- Wants to build two 12-foot stories with a flat-top roof

ADD A TWO-STORY HOUSE WITH A 1.5' BOTTOM DECK, TWO 12' FLOORS AND A 1' FLAT ROOF

FIGURE 2



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ELEVATION

• Landmarks
 • Utilities
 • Obstructions
 • Elevation
 • Structure
 • Foundation
 • Footings
 • Columns
 • Beams
 • Slabs
 • Walls
 • Roofs
 • Stairs
 • Balconies
 • Decks
 • Pools
 • Fences
 • Driveways
 • Sidewalks
 • Landscaping
 • Site
 • Other

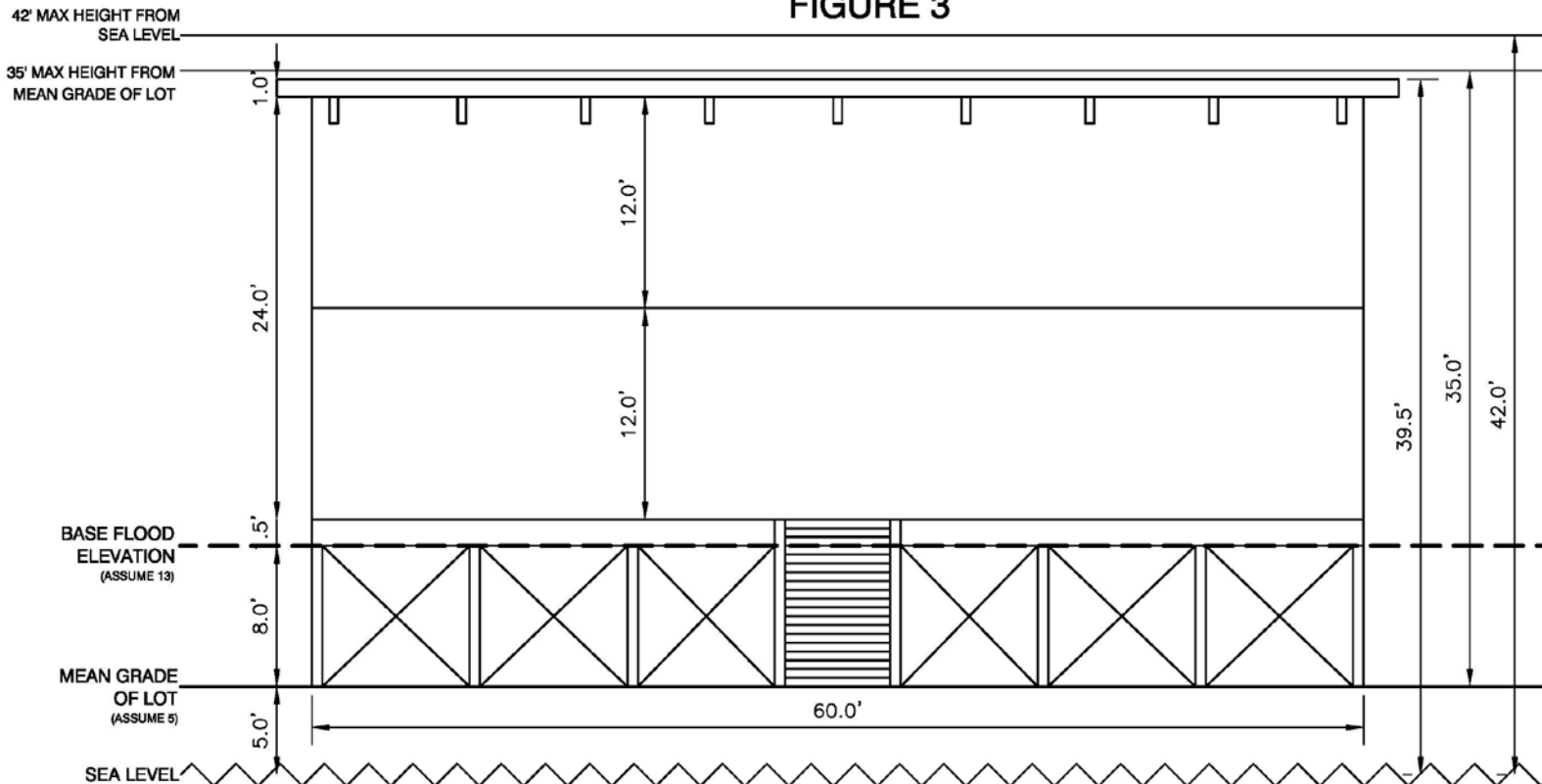
MORRIS DEPEW
 ENGINEERING ARCHITECTURE
 1110 N. W. 10TH AVE., SUITE 100
 MIAMI, FL 33136

CAPTIVA CODE REVISIONS
 CAPTIVA PLANNING PANEL
 CAPTIVA PLANNING PANEL


MOA PROJECT	03041
DESIGNED BY	DWD
CHECKED BY	LKC
DATE	11-09-09
SHEET	

ADD A TWO-STORY HOUSE WITH A 1.5' BOTTOM DECK, TWO 12' FLOORS AND A 1' FLAT ROOF AT ELEVATION 13' - YOU CAN DO THIS!

FIGURE 3



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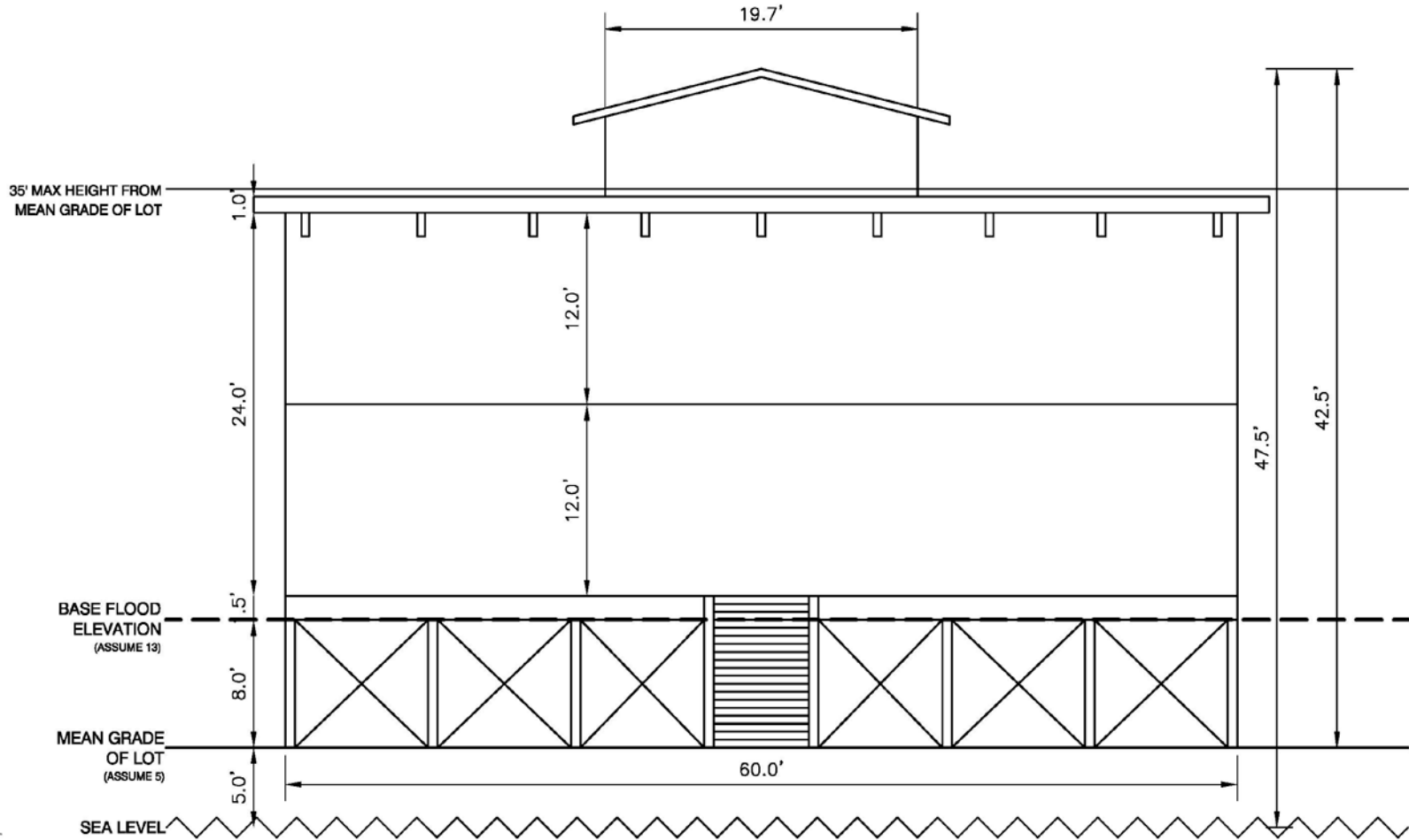

CAPTIVA CODE REVISIONS CAPTIVA PLANNING PANEL <small>Captiva Beach, Florida</small>
<small>MSA PROJECT: 05041</small> <small>DESIGNED BY: DW</small>
<small>CHECKED BY: LKC</small> <small>DATE: 11-09-09</small> <small>SHEET: 1</small>

What if property owner wants a cupola or a sloped roof?

- Figure 4 illustrates a lantern or cupola
- Figure 5 illustrates a sloped roof

YOU CAN DO THIS!

FIGURE 4

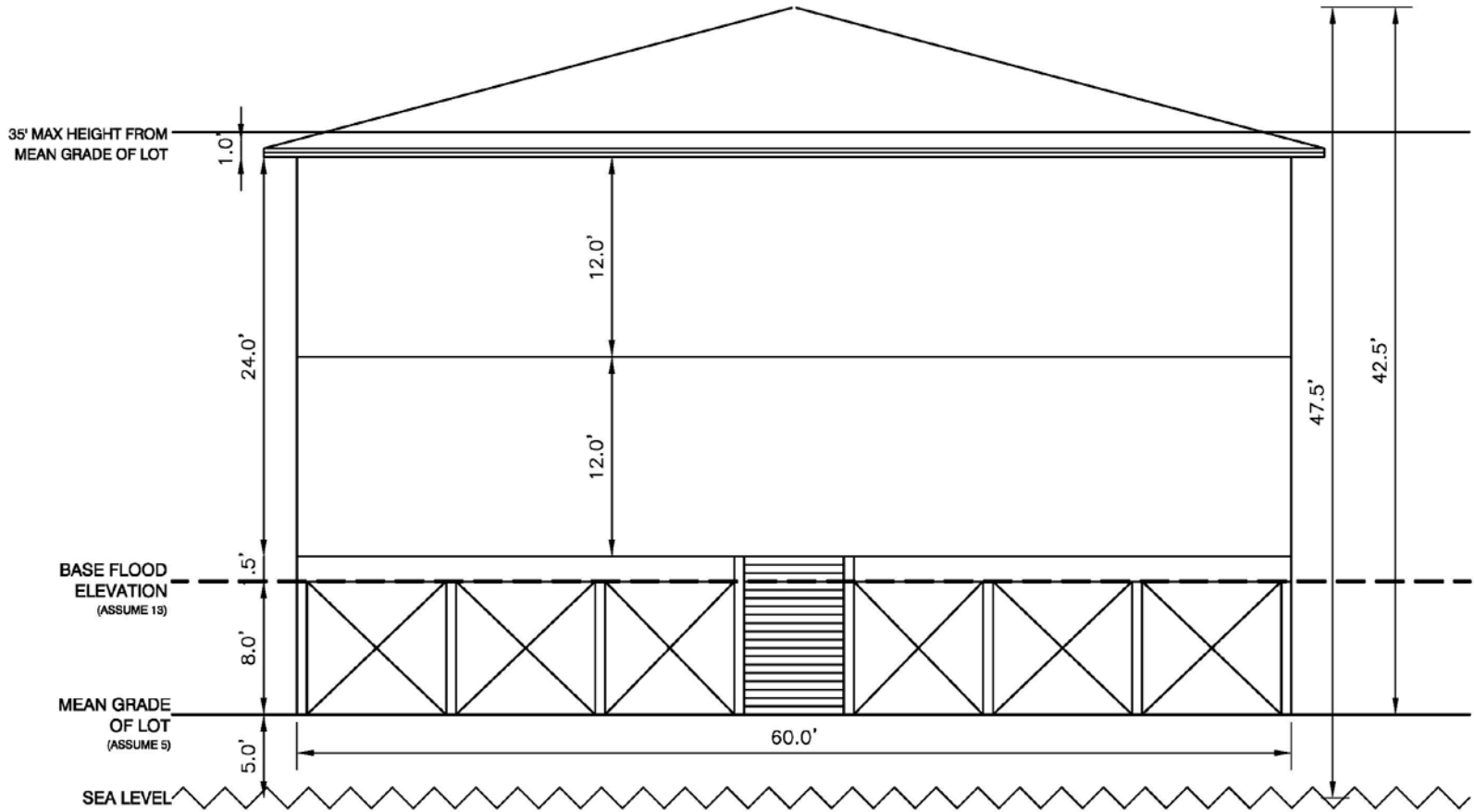


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<small>USA PROJECT:</small> 05041	<small>DESIGNED BY:</small> DWE
<small>DRAWN BY:</small> LJC	<small>DATE:</small> 11-09-09
<small>SHEET</small>	

...BUT YOU CAN'T DO THIS!

FIGURE 5



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ELEVATION

• Land Use
 • Landmarks
 • Districts
MORRIS DEPEN
 ARCHITECTS
 1100 W. PALM BEACH BLVD., SUITE 200
 PALM BEACH, FL 33480

CAPTIVA CODE REVISIONS
 CAPTIVA PLANNING PANEL
 CAPTIVA PLANNING PANEL

MSA PROJECT	05041
DESIGNED BY	DWD
CHECKED BY	LKC
DATE	11.09.08
SHEET	10/12

Option 1: Amend Comp Plan and LDC to say 35 or 42 feet “whichever is higher.”

- Would require amendment to Comp Plan and LDC
- Greater flexibility to property owner
- Would not encourage sloped roofs
- Could be restricted to the VE zone or “forward [i.e. Gulf-ward] of the control line”

Option 2: Keep 35/42' standard, but allow heights to increase as setbacks are stepped up

- Would require amendment to Comp Plan and LDC
- Greater flexibility to property owner
- Would encourage sloped roofs
- Could result in some very tall buildings if no maximum height is mandated
- This approach might be applicable to the Village

Option 3: Keep the 35' standard, drop the 42' standard, and measure from the FIRM floodplain elevation

- Would require amendment to Comp Plan and LDC
- Would not require amendments every time FIRM changes
- Greater flexibility to property owner
- Would allow sloped roofs

Option 4: Measure building height to the medium height of the roof

- Would require amendment to Comp Plan and LDC
- Greater flexibility to property owner

Option 5: Restrict roofline articulation

- Sec. 34-2173 exempts roofline articulations from height restrictions
- According to County staff, this exemption applies to Captiva Island
- Consider limiting roofline articulations above the maximum height to some percentage of the façade width

Suggestion 1: Amend the Lee Plan

Policy 13.1.2: No building or structure may be erected or altered with more than two habitable floors so that the peak of the roof (or the mean height level between eaves and ridge in the case of gable, hip and gambrel roofs) exceeds 35 feet above the average grade, of the lot in question or 42 feet above mean sea level, whichever is ~~lower~~ higher. This policy shall not be construed to prohibit the limited use of ornamental structural features such as cupolas and lanterns as provided in the Land Development Code.

Suggestion 2: Amend Land Development Code Sec. 34-2175...

(2) *Captiva Island*. Consistent with Policy 13.1.2 of the Lee Plan ~~N~~ no building or structure may be erected or altered so that the peak of the roof, or the mean height level between eaves and ridge in the case of gable, hip and gambrel roofs, exceeds 35 feet above the average grade of the lot in question or 42 feet above mean sea level, whichever is ~~lower~~ greater. The provisions of section 34-2174(a) do not apply to Captiva Island....

☞ Continued on next slide

Sec. 34-2175 continued

...No variance or deviation from this height restriction may be granted, except that architectural features including but not limited to cupolas, lanterns, dormers, façade or roofline articulations, etc., and mechanical appurtenances may extend an additional eight (8) feet above the roof peak, so long as such details do not account for more than 20% of the total front façade width and any mechanical appurtenances are fully screened from visibility from adjoining properties.

Questions & Comments

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